



PIONEER RISE

ESTATE

LOMANDRA

DRIVE

This report has been prepared by the office of Spiire on behalf of Pioneer Rise Estate.
16 Bridge St, Bendigo VIC 3539

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www.pioneerrise.com.au





THE PURPOSE OF THIS INFORMATION?

THIS INFORMATION HAS BEEN PROVIDED ON BEHALF OF THE DEVELOPER AS A SUMMARY OF THE KEY FEATURES AND REQUIREMENTS AT THE PIONEER RISE ESTATE DEVELOPMENT.

THE FOLLOWING INFORMATION IS INCLUDED IN THIS REPORT:

- Lot Earthworks - Level 1 Filling
- Easements
- Water & Sewer Property Connections
- Underground Electrical Reticulation
- Gas Supply
- NBN Availability
- Protective Covenants
- Fencing
- Bushfire Management Overlay
- Bushfire Attack Level (BAL)
- Section 173 Legal Agreement
- Building Envelopes



LOT EARTHWORK - LEVEL 1 FILLING

Any filling on lots within the development will be undertaken in accordance with Australian Standards AS3798-1996, using selected imported clean material. The filling is compacted to a minimum 95% standard density ratio with moisture control within +/- 3% of Optimum Moisture Content.

What does this mean in simple terms? It means the filling is to be compacted to achieve a similar or better compaction and density than natural ground and a geotechnical engineer has supervised and approved these works. It should mean there should be no significant extra cost to build on the level 1 filled areas.

EASEMENTS

An easement is an encumbrance on land that is registered on your lot's title which gives someone the right to use the area of the land covered by the easement for a specific purpose, even though they are not the land owner. A common example of an easement is an easement in favour of the local water board as their sewer main traverse a land title.

A lot owner should not construct any fixtures over an easement. If you wish to build over an easement, you will need to get the consent of the party the easement is in favour of e.g. Coliban Water or the Greater Bendigo Council. For information on easement locations, please refer to the plan of your lot on the proposed plan of subdivision at Appendix C of this document. For further information on easements, please consult your legal representative.

WATER AND SEWERAGE PROPERTY CONNECTIONS

Pioneer Rise Estate is serviced by town water and reticulated sewer. Each property has a sewer and water connection available. The sewer connections have been constructed within the boundary of each property. Information specifying the location and depth of the property connection can be obtained from Coliban Water.

UNDERGROUND ELECTRICAL

Pioneer Rise Estate is serviced by underground electricity, each property has been supplied with an electrical pit at its boundary where connection is to be taken from. For any issues during connection please contact Powercor Australia.

GAS SUPPLY

Pioneer Rise Estate is serviced by underground natural gas, each property has a gas connection available. For any connection issues please contact AusNet Services.

NBN AVAILABILITY

Pioneer Rise Estate will be an NBN ready development. The NBN network is an exciting upgrade to Australia's existing landline phone and internet network. It's designed to provide every Australian with fast and reliable services for decades to come.

PROTECTIVE COVENANTS

For information of the protective covenants at Pioneer Rise Estate please refer to Appendix B of this report.

FENCING

All lot boundary fencing within the development shall be constructed by you the purchaser and at your cost. The fence must be a Colourbond fence of the colour "Monument" of 1.8 metres in height, inclusive of a bottom plinth of 0.15 metres. The height shall reduce in accordance with normal fencing design in the first two panels of each side boundary from the front boundary.



BUSHFIRE ATTACK LEVELS (BAL'S)

A Bushfire Attack Level (BAL) is a means of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact. A BAL is the basis for establishing the requirements for construction (under the Australian Standard AS 3959-2009 Construction of Buildings in Bushfire Prone Areas), to improve protection of building elements from bushfire attack.

Each lot within this development has already been assessed and given a BAL as follows:

- Lots 8-13 & 20-32 & 35-41 (inclusive) - BAL12.5
- Lots 33 & 34 - BAL29

SECTION 173 LEGAL AGREEMENT

Each lot within the development has a legal agreement registered on your title which outlines some specific requirements to be adhered to. Therefore you as the future land owner, builder and or resident must be aware of these requirements. The specific requirements outlined primarily relate to the bushfire protection measures set out in the bushfire management plan (Appendix A) which must be implemented and maintained to the satisfaction of the responsible authority on a continuing basis.

BUILDING ENVELOPES

It should be noted lots 2, 18 and 19 have a restriction on the plan of subdivision specifying which direction the front of the proposed dwellings must face. Please refer to the Plan of Subdivision (Appendix C) for the specific requirements.

The restrictions are summarized as follows:

- Any dwelling constructed on Lot 2 must be designed such that its front facade faces Guys Hill Road
- Any dwelling constructed on Lot 18 must be designed such that its front façade faces Ryalls Lane
- Any dwelling constructed on Lot 19 must be designed such that its front façade faces Ryalls Lane

APPENDIX A

BUSHFIRE MANAGEMENT OVERLAY

Like much of Bendigo this development is partially within a Bushfire Management Overlay (BMO). Normally you are required to obtain a planning permit to construct a dwelling when your land is within a BMO, however this is not required for this development as this has been resolved through the planning permit for the overall subdivision of the land.

GENERAL

- All dimensions shown are in metres.
- The requirements of this plan only relate to those lots within the Bushfire Management Overlay, being lots 8-13 & 20-41 (inclusive).
- The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defensible space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

DEFENDABLE SPACE

- For lots designated on this plan as lots 8-13 & 20-41 (inclusive), the defendable space shall be managed in accordance with Table 6 of Clause 53.02-5 to the following requirements to each properties boundary:
 - Grass must be short cropped and maintained during the declared fire danger period.
 - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
 - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
 - Plants greater than 10 centimetres in height must not be placed within 3m of a window or other glass feature of the building.
 - Shrubs must not be located under the canopy of trees.
 - Individual and clumps of shrubs must not exceed 5sq metres in area and must be separated by at least 5 metres.
 - Trees must not overhang or touch any elements of the building.
 - The canopy of trees must be separated by at least 5 metres.
 - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.
- The Interim Bushfire Protection Zone identified on this plan must also be managed to the above conditions until such time as the future stages of the development are complete.

BUILDING CONSTRUCTION

- Buildings on those lots within the Bushfire Management Overlay will be designed and constructed to the minimum Bushfire Attack Level designated for the site in accordance with AS3959-2009.
 - Lots 8-13 & 20-32 & 35-41 (inclusive) - BAL12.5
 - Lots 33 & 34 - BAL29

WATER SUPPLY

- Each dwelling on those lots within the Bushfire Management Overlay, Lots 8-13 & 20-41 (inclusive) must have 5,000 litres of effective water supply that is maintained and used solely for fire fighting purposes which will meet the following requirements:
 - Stored in an above ground water tank constructed of concrete or metal.
 - All fixed above-ground water pipes and fittings required for firefighting purposes made of corrosion resistant metal.
 - Include a separate outlet for occupant use (the water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies).

ACCESS

- For driveways that are less than 30 metres in length (measured from the public road to either the building or the water supply outlet, whichever is longer) there are no design and construction requirements.

INTERIM BUSHFIRE PROTECTION ZONE TO BE MAINTAINED BY THE LANDOWNER OF THE BALANCE LAND TO A LOW THREAT CONDITION UNTIL FUTURE STAGE OF ODP LAND IS DEVELOPED

BUILDING ENVELOPE

Legend:

- BAL12.5
- BAL29

Map Details:

- STAGE 2: To be developed in accordance with approved Development Plan.
- 40m Interim Bushfire Protection Zone, to be maintained by the landowner of the Balance Land in accordance with 5302-5 (paragraph 4 of this plan) during the bushfire season until future stages of development are complete.
- 1.6m High Coloured Fence
- 1.6m High Coloured Fence
- FUTURE ROAD
- DAM
- GENERAL RESIDENTIAL ZONE
- GUYS HILL ROAD
- RALLS LAKE

Scale: 1:2000

Coordinate Datum: MGAS55

Sheet: 1 of 1

Date: 01/10/2019

Drawing No.: 3048B3-V2-BMP

CAD Ref.: G:\303048B3\PLANNING\ACAD

Version: 5

Drawn By: SP

Checked By: CC

Bushfire Management Plan

Pioneer Rise Estate

212 Guys Hill Road, Strathfieldsaye

**PLANNING AND ENVIRONMENT ACT 1987
GREATER BENIDGO PLANNING SCHEME**

**PLAN REFERRED TO IN PLANNING PERMIT
NO: DS/582/2018**

Delegated Officer: Shannon Rosewarne

For and on behalf of the City of Greater Bendigo

spire

16 Bridge Street
PO Box 1064
Bendigo VIC 3550
Tel: 3 5446 2300
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APPENDIX B

PROTECTIVE COVENANTS

COVENANT TO BE INSERTED IN TRANSFER Lots 27 - 41

AND the Transferee with the intention that the benefit of this Covenant shall be attached to and run at law and in equity on Lots 27 to 41 on Plan of Subdivision No. PS839769D (the Plan) other than the Lot hereby transferred (burdened land) and that the burden of this Covenant shall be annexed to and run at law and in equity with the burdened land does hereby for himself, his heirs, executors, administrators and transferees, and as separate Covenant covenants with the Transferor and the registered proprietor or proprietors for the time being of every Lot on the Plan and every part or parts thereof other than the burdened land hereby transferred, that the Transferee, his heirs, executors, administrators and transferees shall not at any time

A. On the burdened land or any part of parts thereof:

- (a) build, construct or erect or cause or permit to be built, constructed or erected any building other than one private dwelling house (constructed of all new materials) having an area of not less than 150 square metres within the outer walls thereof (such area to be calculated by excluding the area of any carports, workshops, garages, terraces, patios, pergolas or verandahs attached to such house) provided that nothing herein contained shall prohibit the erection on the said land of a garage and/or other normal residential outbuildings where a private dwelling house is or is being erected on the said land.
 - (b) build, construct or erect or cause or permit to be built, constructed or erected any garage and/or normal residential outbuilding having a height greater than 4 metres which together have a total aggregate floor area greater than 60 square metres provided that in calculating such total aggregate area of 60 square metres,
 - (i) The floor area of any garage which is incorporated as an integral part of the structure of a dwelling house constructed on the said land shall be ignored and ,
 - (ii) The floor area of any normal residential outbuilding with a floor area not exceeding 10 square meters shall be ignored,and further provided that nothing herein contained shall be construed as limiting the height of any garage which is incorporated as an integral part of the structure of a dwelling house constructed on the said land.
 - (c) build, construct or erect or cause to be built, constructed or erected any dwelling house, garage or normal residential outbuilding unless the whole of any such structure is situated not less than 4 metres from the front boundary of the burdened land.
 - (d) build, construct or erect or cause or permit to be built constructed or erected any fence on the title boundaries (excluding the front boundary) other than a Colourbond fence of the colour " Monument " of 1.8 metres in height inclusive of a bottom plinth of 0.15 metres . This height shall reduce in accordance with normal fencing design in the first two panels of each side boundary from the front boundary. This shall not apply to any part of the dwelling construction forming part of the title boundary.
 - (e) move thereon any building which has been wholly or partly completed nor any part thereof.
-


-
- (f) build or construct or cause to be built or constructed any driveway unless such driveway is constructed from concrete, pressed bricks, pavers, asphalt or other durable all weather surface
 - (g) build, construct or erect or cause to be built, constructed or erected any hot water service which is visible from the street frontage.
 - (h) permit or cause to be permitted or allow to be permitted recreational or commercial vehicles including but not limited to utility trucks, boats, caravans or motor cycles to be parked or accommodated where they can be visible from the street frontage.
 - (i) accumulate or cause or permit to be accumulated any waste, rubbish, building or site excavations, grass clippings or prunings .
- B. Use the burdened land for business purposes (with the exception of “Home Occupation “as defined in the Greater Bendigo Planning Scheme) or as a depot.
- C. Subdivide the burdened land.

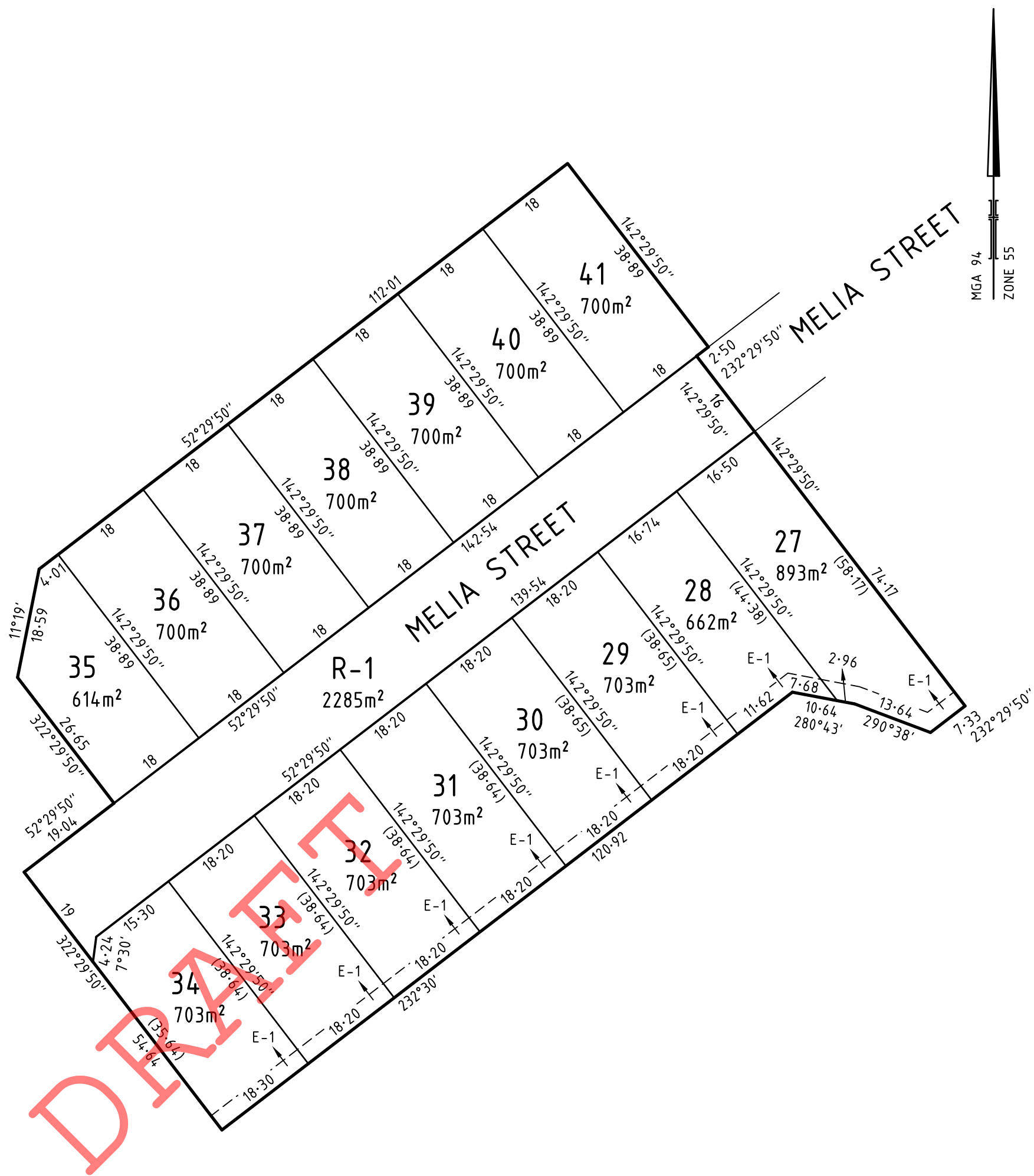
PROVIDED always that the Transferor reserves the right to release, vary, add to or modify these Covenants in relation to other land of the Transferor including other land in the said Plan of Subdivision.

AND it is intended that the above Covenant shall appear on the Certificate of Title to issue for the burdened land and run at law and in equity with the burdened land.

APPENDIX C

PLAN OF SUBDIVISION

PLAN OF SUBDIVISION		EDITION 1		PS839769D																
<div>LOCATION OF LAND</div> <div>PARISH: STRATHFIELDSAYE</div> <div>TOWNSHIP:</div> <div>SECTION: 19</div> <div>CROWN ALLOTMENT: 10 (PART)</div> <div>CROWN PORTION:</div> <div>TITLE REFERENCE: C/T VOL 12162 FOL 444</div> <div>LAST PLAN REFERENCE: Lot 2 on PS815359J</div> <div>POSTAL ADDRESS: Guys Hill Road</div> <div>(at time of subdivision) Strathfieldsaye</div> <div>MGA94 CO-ORDINATES: E: 262 255 ZONE: 55</div> <div>(of approx centre of land in plan) N: 5 923 330</div>																				
VESTING OF ROADS AND/OR RESERVES		NOTATIONS																		
<table><tr><td>IDENTIFIER</td><td>COUNCIL / BODY / PERSON</td></tr><tr><td>ROAD R-1</td><td>CITY OF GREATER BENDIGO</td></tr></table>		IDENTIFIER	COUNCIL / BODY / PERSON	ROAD R-1	CITY OF GREATER BENDIGO	<div>Lots 1 to 26 (both inclusive) have been omitted from this plan.</div> <div>Further Purposes of Plan</div> <div>Removal of Easement shown E-2, E-4 & E-5 on PS815350J</div> <div>Grounds for Removal</div> <div>Consent of the relevant authority under the powers of Section 6(1)(k) of the Subdivision Act 1988</div>														
IDENTIFIER	COUNCIL / BODY / PERSON																			
ROAD R-1	CITY OF GREATER BENDIGO																			
NOTATIONS																				
DEPTH LIMITATION : DOES NOT APPLY																				
<div>SURVEY:</div> <div>This plan is based on survey</div> <div>STAGING:</div> <div>This is not a staged subdivision</div> <div>Planning Permit No. DS/582/2018</div> <div>This survey has been connected to permanent marks No(s). 48, 61, 62, & 121</div> <div>In Proclaimed Survey Area No.</div>																				
EASEMENT INFORMATION																				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)																				
<table><tr><th>Easement Reference</th><th>Purpose</th><th>Width (Metres)</th><th>Origin</th><th>Land Benefited / In Favour of</th></tr><tr><td>E-1</td><td>Pipelines or Ancillary Purposes</td><td>3</td><td>This Plan - Sec 136 Water Act 1989</td><td>Coliban Region Water Corporation</td></tr><tr><td>E-1</td><td>Drainage</td><td>3</td><td>This Plan</td><td>City of Greater Bendigo</td></tr></table>						Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of	E-1	Pipelines or Ancillary Purposes	3	This Plan - Sec 136 Water Act 1989	Coliban Region Water Corporation	E-1	Drainage	3	This Plan	City of Greater Bendigo
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E-1	Drainage	3	This Plan	City of Greater Bendigo																
PIONEER RISE ESTATE STAGE 2 - 15 LOTS				AREA OF STAGE - 1.287ha																
<div></div> <div>16 Bridge Street</div> <div>PO Box 1064</div> <div>Bendigo Vic 3550</div> <div>T 61 3 5448 2500</div> <div>spiire.com.au</div>		SURVEYORS FILE REF: 307806SV00		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 2															
		Licensed Surveyor: Michael Meehan																		
Version: 1																				



SURVEYOR'S FILE REF: 307806SV00

SCALE 1: 750

7.5 0 7.5 15 22.5 30

LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 2



16 Bridge Street
PO Box 1064
Bendigo Vic 3550
T 61 3 5448 2500
spiire.com.au

Licensed Surveyor: Michael Meehan
Version: 1

APPENDIX D

ENGINEERING DETAIL PLANS

PIONEER RISE ESTATE STAGE 2 NEER RISE ESTATE PTY

GENERAL NOTES

LEGEND

- A. GENERAL
1. ALL WORK TO BE CARRIED OUT TO CITY OF GREATER BENDIGO SPECIFICATIONS, STANDARD DRAWINGS AND TO THE SATISFACTION OF COUNCIL'S SENIOR SURVEILLANCE OFFICER OR HIS REPRESENTATIVE.
2. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AND ALL COORDINATES ARE TO MAP GRID OF AUSTRALIA (MGA).
3. THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS CORRECT.
4. ALL FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND ONLY RE-TOPSOILED ON THE DIRECTION OF THE ENGINEER, TO THE FINAL FILL LEVELS SHOWN ON THE DRAWINGS. ALL FILLING IS TO BE:
 - APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT.
 - PLACED IN LAYERS NOT EXCEEDING 200MM LOOSE THICKNESS.
 - MOISTURE CONDITIONED TO WITHIN 85% TO 15% OF OPTIMUM MOISTURE CONTENT.
 - COMPACTED TO A MINIMUM 95% (STANDARD) DRY DENSITY RATIO.
 - PLACED UNDER 'LEVEL 1' SUPERVISION IN ACCORDANCE WITH AS 3798-1996.
5. EXISTING DEPRESSIONS & DRAINS TRAVERSING THE SITE ARE TO BE CLEARED OUT AND DESLUGGED TO FIRM BASE AND FILLED TO FINISHED SURFACE LEVELS TO THE SPECIFIED COMPACTION STANDARDS.
6. TBM'S TO BE RE-ESTABLISHED BY THE LICENSED SURVEYOR IF FOUND TO BE MISSING AT THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF TBMS THEREAFTER.
7. POSITION CONDUITS SO THAT A MINIMUM DISTANCE BETWEEN TAPPING IS 10M. CONDUITS TO BE LOCATED MIDWAY BETWEEN FENCE LINE OF LOT, UNLESS OTHERWISE SHOWN.
8. BEFORE COMMENCING WORK ON EXCAVATIONS IN EXCESS OF 15 M DEEP, THE REQUIRED NOTICE IS TO BE SENT TO THE VICTORIAN WORKSAFE AUTHORITY IN ACCORDANCE WITH THE MINES ACT, 1958 NO 6320 SECTION 385 AND THE OCCUPATIONAL HEALTH AND SAFETY ACT 1985. THIS NOTIFICATION MUST BE RECEIVED BY THE AUTHORITY AT LEAST 3 DAYS PRIOR TO COMMENCING EXCAVATIONS, AND A COPY OF THE NOTIFICATION MUST BE PROVIDED TO THE SUPERINTENDENT.
9. COUNCIL'S REPRESENTATIVE IS TO BE NOTIFIED IN WRITING SEVEN (7) DAYS PRIOR TO THE COMMENCEMENT OF WORKS.
10. NO EXCAVATION WITHIN 5M OF ANY EXISTING TREE WITHOUT APPROVAL OF THE ENGINEER.
11. NO BLASTING IS PERMITTED WITHIN THE CITY OF GREATER BENDIGO WITHOUT OBTAINING COUNCIL'S SPECIAL DISPENSATION.
12. EXCAVATED MATERIAL SURPLUS TO FILLING REQUIREMENTS OF THE WORKS SHALL BE REMOVED FROM SITE AS SPECIFIED.
13. ALL SURPLUS ROCK, CONCRETE AND BITUMINOUS RUBBLE SHALL BE DISPOSED OFF SITE AS SPECIFIED. THE CONTRACTOR SHALL CHECK WITH SUPERINTENDENT WHETHER ANY LARGE ROCKS ARE REQUIRED FOR LANDSCAPE PURPOSES PRIOR TO DISPOSAL.
14. NATURES TRIPS AND ALL AREAS OF CUT OUTSIDE ROAD RESERVE TO BE SURFACED WITH 100MM MINIMUM COMPACTED LAYER OF TOPSOIL.
- B. ROAD WORKS
1. FOOTPATHS ARE TO BE 15M WIDE UNLESS SHOWN OTHERWISE. FOOTPATHS TO BE CONSTRUCTED TO THE CITY OF GREATER BENDIGO STANDARDS.
2. CONSTRUCT LAYBACK SECTION AT VEHICLE CROSSING, REVERSING BAYS AND CAR PARKING BAYS AND PRAM CROSSING TO THE CITY OF GREATER BENDIGO STANDARDS.
3. ALL CHANGES REFER TO ROAD PAVEMENT CENTRELINES EXCEPT IN COURT HEADS AND INTERSECTIONS WHERE CHAINAGES REFER TO BACK OF KERB.
4. THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION VEHICLES TO THE ROAD RESERVE AND EASEMENTS. ANY DAMAGE CAUSED TO ALLOTMENTS MUST BE MADE GOOD.
5. ALL BATTERS SHALL BE TO THE CITY OF GREATER BENDIGO STANDARDS.
 - CUT 1 IN 12 UNLESS OTHERWISE SHOWN.
 - FILL 1 IN 12 UNLESS OTHERWISE SHOWN.
6. ALL SET OUT INFORMATION GIVEN IS TO BACK OF KERB UNLESS OTHERWISE SHOWN.
7. WHERE CRUSHED ROCK IS SHOWN UNDER CONCRETE FOOTPATHS CONSTRUCTED ON FILL, THE CRUSHED ROCK IS TO BE 20MM CLASS 3, WHERE CUT BATTERS ARE STEEPER THAN 16:1 THEY MUST BE HYDRO PULVERISED.
8. SUBGRADE BE COMPACTED TO A MINIMUM OF 98% STANDARD MAXIMUM DENSITY (AS3798), WITH THE SUBBASE COMPACTED TO 100% STANDARD MAXIMUM DENSITY. ALL FILLING TO BE TO THE FINISHED SURFACE LEVELS. THE SUBBASE TO BE AVERAGE OF 10% MINIMUM MODIFIED DRY DENSITY. ANY FILLING BENEATH ROAD PAVEMENT AREAS TO BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY. COMPACTION TESTING TO BE AS PER COUNCIL REQUIREMENTS.
9. ANY BACKFILL WITHIN 10M OF A COUNCIL ASSET (FOOTPATH OR ROAD) IS TO BE FCR. FILL MATERIAL IS ACCEPTABLE IF COMPACTED TO HAVE 95% COMPACTION. COMPACTION TESTING TO BE PERFORMED AT ONE PER 60M OF TRENCH.
10. CONCRETE TO HAVE 28DAY STRENGTH OF 25MPA UNLESS NOTED OTHERWISE

SYMBOL	DESCRIPTION
	EXISTING WATER MAIN, VALVE AND HYDRANT
	EXISTING UNDERGROUND ELECTRICITY
	EXISTING TELESTRA & SERVICE PIT
	EXISTING GAS MAIN
	EXISTING SEWER & MANHOLE
	EXISTING STORMWATER DRAIN & SIDE ENTRY PIT
	EXISTING HOUSE DRAIN
	EXISTING TRACK
	EXISTING FOOTPATH
	EXISTING KERB & CHANNEL
	EXISTING SURFACE CONTOUR
	EXISTING SURFACE CONTOUR
	TANGENT POINT ROAD CHAINAGE
	EXISTING SURFACE LEVEL
	EXISTING SIGN AND POST
	ALLOTMENT NUMBER
	ROAD CHAINAGE
	EXISTING TOP OF BATTER
	EXISTING LIMIT / TOE OF BATTER
	EXISTING TREE & SURVEYED CANDPY TO BE RETAINED
	EXISTING TREE TO BE REMOVED
	EXISTING VEGETATION LINE
	GAS & WATER CONDUIT
	PROPOSED WATER MAIN
	PROPOSED UNDERGROUND ELECTRICITY
	PROPOSED OPTIC FIBRE CONDUIT
	PROPOSED GAS MAIN
	PROPOSED SEWER AND MANHOLE
	PROPOSED STORMWATER DRAIN & PIT
	PROPOSED HOUSE DRAIN
	PROPOSED STORMWATER PIT NUMBER
	PROPOSED FOOTPATH
	KERB & CHANNEL - TYPE
	FINISHED SURFACE CONTOUR MINOR
	FINISHED SURFACE CONTOUR MAJOR
	FINISHED SURFACE LEVEL
	TOP / TOE OF BATTER LEVEL
	PROPOSED SIGN & POST
	STREET SIGN
	PROPOSED PERMANENT SURVEY MARK
	TEMPORARY BENCH MARK (TBM)
	TOP OF BATTER
	LIMIT / TOE OF BATTER
	INTERSECTION SET-OUT POINT
	LOT GRADE
	ROAD RESERVE
	LOT BOUNDARY
	EASEMENT
	LIMIT OF WORKS
	EXISTING FENCE
	FUTURE STORMWATER DRAIN & PIT
	EXCAVATION GREATER THAN 300mm
	FILLING GREATER THAN 300mm

- A CULTURAL HERITAGE MANAGEMENT PLAN (CHMP) HAS BEEN APPROVED FOR THE SITE. THE CHMP INCLUDES CONDITIONS WHICH ARE COMPLIANCE REQUIREMENTS. FAILURE TO COMPLY WITH AN APPROVED CHMP CONDITION IS AN OFFENCE UNDER SECTION 67(a) OF THE ABORIGINAL HERITAGE ACT 2006.
- A COPY OF THE APPROVED CHMP MUST BE HELD ONSITE AT ALL TIMES.
- A CULTURAL HERITAGE INDUCTION MUST BE HELD WITH A REPRESENTATIVE OF THE REGISTERED ABORIGINAL PARTY PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS. A NOTIFICATION PERIOD OF TWO (2) WEEKS IS REQUIRED.

SHEET NUMBER	SHEET DESCRIPTION	REVISION
307199CR00A	FACE SHEET	A
307199CR00B	LAYOUT PLAN	A
307199CR00A	ROAD LONGITUDINAL SECTION	A
307199CR00A	ROAD CROSS SECTIONS 1	A
307199CR00A	ROAD CROSS SECTIONS 2	A
307199CR00A	ROAD CROSS SECTIONS 3	A
307199CR00A	ROAD CROSS SECTIONS 4	A
307199CR00A	INTERSECTION DETAILS	A
307199CR00A	DAM FILLING LEVELS	A
307199CR00A	DRAINAGE LONG SECTION	A
307199CR00A	DRAINAGE PIT SCHEDULE	A
307199CR00A	PAVEMENT TYPICAL DETAILS	A
307199CR00A	PAVEMENT TYPICAL DETAILS	A

SHEET LIST TABLE

SERVICE LOCATION TABLE

ROAD NAME	SEWER		POTABLE WATER		GAS		NBN (TELECOM)		EXISTING TELECOM		ELECTRICITY	
	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	U/G CABLE	
											POLE	OFFSET
MELIA STREET	N	-100	N	2.40	N	1.90	S	2.00	-	-	-	2.50

1. TELECOMMUNICATIONS AND ELECTRICITY CABLES TO BE CONSTRUCTED IN A COMMON TRENCH IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD DRG.
2. GAS AND WATER MAINS TO BE CONSTRUCTED IN A COMMON TRENCH.
3. × = OFFSET FROM BACK OF KERB

WARNING

BEWARE OF UNDERGROUND/OVERHEAD SERVICES

THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.



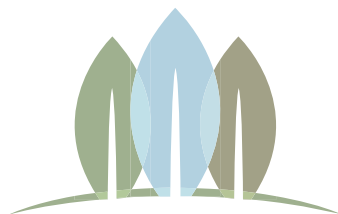
LOCALITY PLAN

SCALE: NOT TO SCALE
VICROADS: 614 J4



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[illegible]



PIONEERRISE

E S T A T E

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